

American Inspection Service

Property Inspection Report



Torres 2 S.E. of 9th, Carmel By the Sea, CA, 93923

Inspection Prepared For: Sanjay Narayan

Date of Inspection: 1/8/2021

Inspector: Jack Mancarella

A.S.H.I. Cert# 249951

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Report Summary

This summary report is intended to provide a convenient and cursory preview of the more significant conditions and components that we have identified within our report as needing service, but could be incomplete. It is obviously not comprehensive, and should not be used as a substitute for reading the entire report, nor is it a tacit endorsement of the condition of components or features that may not appear in this summary. Also, the service recommendations or recommendations for further evaluations, that we make in this summary and throughout the report should be completed well before the end of the contingency period by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Exterior Components		
Page 6 Item: 1	Property Observations	<ul style="list-style-type: none"> • There are areas of this property that do not have guardrails. Therefore, children should be monitored if the visit or occupy the residence. Common safety standards require them to be a minimum of fort two inches high when the standing surface is thirty inches or more above grade. Also, guardrail pickets should be no more than four inches apart for child safety.
Page 6 Item: 2	Landscaping	<ul style="list-style-type: none"> • Trees that are adjacent to the foundation should be monitored for any growth that might affect the foundation.
Page 7 Item: 3	Drainage Mode	<ul style="list-style-type: none"> • Grading and drainage is either negative or neutral adjacent to the residence, and moisture intrusion will remain a possibility. The soil or the hard surfaces should slope away from the residence to keep moisture away from the footings. We can elaborate on this issue, but we recommend you seek a second opinion from a licensed landscape contractor who could make suggestions on possibly re directing the soils.
Page 7 Item: 5	House Wall Finish Observations	<ul style="list-style-type: none"> • Portions of the wood siding are moisture or insect damaged, and should be evaluated by a termite inspector or licensed contractor prior to the end of the contingency period. • Earth to wood contact noted at various locations. Earth to wood can act as a conduit for insect and moisture intrusion. Recommend removing the soil and sloping the areas away from the structure. • There are holes or penetrations in the exterior siding that should be repaired or sealed to prevent insect or moisture intrusion.
Page 8 Item: 7	Walkway Conditions	<ul style="list-style-type: none"> • There is an offset in a walkway that could prove to be a trip hazard and you may wish to have it evaluated.
Page 9 Item: 8	Fences and Gates	<ul style="list-style-type: none"> • Sections of the fence are leaning or damaged and should be repaired or replaced.
Page 9 Item: 9	Facia and Trim	<ul style="list-style-type: none"> • There is insect or moisture damage to portions of the wood trim that should be evaluated by a termite inspector or licensed contractor.
Page 10 Item: 11	Wood and Masonry Decks	<ul style="list-style-type: none"> • There is damage to the wood deck that should be evaluated by the termite inspector or licensed contractor. • The deck rail balustrades exceeds 4", which is today's standard. Recommend decreasing the space between the balustrades to 4" especially if young children or small pets occupy the residence. • The rear stone deck is deteriorated and should be serviced.

Page 11 Item: 13	Outlets	<ul style="list-style-type: none"> • An outlet is not energized. Recommend a licensed electrician evaluate the outlets. • There is an open junction box in the side yard that should be sealed. Recommend a licensed electrician evaluate.
Roof Material and Comments		
Page 12 Item: 3	Roofing Material	<ul style="list-style-type: none"> • The tar and gravel roof has multiple bare spots that should be serviced to prevent the membrane from deteriorating. Recommend a licensed roofing contractor evaluate.
Page 13 Item: 4	Flashing's	<ul style="list-style-type: none"> • The roof flashing's need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashing's on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks. • The exposed nails on the flashing's should be sealed to prevent moisture intrusion. Recommend further evaluation by a licensed roofing contractor.
Page 14 Item: 6	Gutters and Drainage	<ul style="list-style-type: none"> • The roof has a gutter less drainage system that employs down spouts in the eaves, but no gutters. Water runs down the roof to a raised dam along the leading edges where it is supposed to turn and run sideways until it reaches a point in the eaves, where it discharges into a downspout. However, level planes rarely exist on houses, and instead of performing as it is intended the water invariably ponds along the edges and deteriorates the roof and its eaves, which has already happened. The termite inspector will comment on this, but you should also consult a roofing contractor about modifying this ineffectual and problematic drainage system. • It would be prudent to add leaders and/or splash blocks at the bottom of the down spouts to promote positive drainage and divert water away from the perimeter footings.
Plumbing		
Page 17 Item: 3	Gas Main Location	<ul style="list-style-type: none"> • There is no wrench at the gas shut off valve to facilitate an emergency shut off, and inasmuch as such tools are relatively inexpensive we recommend that you buy one and leave it in place on the valve.
Water Heater		
Page 18 Item: 1	Age Capacity and Location	<ul style="list-style-type: none"> • The water heater is beyond it's commonly expected design life and should be closely monitored for any signs of leaks.
Page 18 Item: 4	Gas Valve	<ul style="list-style-type: none"> • The gas valve does not include a sediment trap or drip leg, and we recommend one be installed by a licensed plumber to prevent debris clogging the gas orifice.
Page 19 Item: 7	Drip Pan and Overflow Pipe	<ul style="list-style-type: none"> • The water heater is not equipped with a drip pan or overflow pipe, which is recommended, and which is designed to prevent or minimize water damage from a leak.
Electrical		
Page 19 Item: 3	Main Panel Observations	<ul style="list-style-type: none"> • The panel is an old panel manufactured by Zinsco. The breakers in this type of panel have a history of over heating but not tripping. Also, the panel has exposed feeder bars that can be hazardous to anyone removing the interior cover panel without prior knowledge of this fact. Recommend a licensed electrician evaluate.

Page 19 Item: 4	Wiring Observations	<ul style="list-style-type: none"> The residence is wired with suspect knob and tube wiring, which should be evaluated by an electrician and certified as being safe or replaced.
Page 20 Item: 6	Panel Ground	<ul style="list-style-type: none"> The panel is grounded to a water pipe. Current standards require the panel to be double grounded, and you may wish to consider having this done as a safety upgrade.
Heat Source		
Page 20 Item: 2	Furnace	<ul style="list-style-type: none"> The furnace is functional. However, it is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely, and should be evaluated by a licensed HVAC contractor, for evidence of metal fatigue.
Page 21 Item: 5	Gas Valve and Connector	<ul style="list-style-type: none"> You should be aware that the gas feed line that pass through the furnace sidewall is flexible, and are required by current codes to be rigid until it passes beyond the furnace, and then flexible to the point where it connects to the valve. This condition should be corrected by an HVAC contractor.
Page 22 Item: 12	Baseboard Heat System	<ul style="list-style-type: none"> The baseboard heater did not respond to the thermostat, and should be serviced.
Main Entry		
Page 23 Item: 4	Single Pane Windows	<ul style="list-style-type: none"> The single pane windows do not contain safety glass which is required by today's standards and we recommend the window or windows are upgraded.
Page 23 Item: 6	Outlets	<ul style="list-style-type: none"> The obsolete ungrounded outlets should be upgraded to include ground. Recommend a licensed electrician evaluate.
Sun Room		
Page 24 Item: 1	Doors	<ul style="list-style-type: none"> The door rubs, and needs to be serviced to work smoothly.
Page 25 Item: 2	Floors	<ul style="list-style-type: none"> The floor is out of level and the room is pulling away from the main structure. Recommend further evaluation by a licensed contractor.
Page 25 Item: 3	Walls and Ceiling	<ul style="list-style-type: none"> There is evidence of moisture intrusion that should be evaluated by a licensed contractor or termite inspector.
Wine Cellar		
Page 26 Item: 4	Single Pane Windows	<ul style="list-style-type: none"> A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.
Page 26 Item: 5	Lights	<ul style="list-style-type: none"> Several of the ceiling lights did not respond and should be serviced.
Kitchen		
Page 27 Item: 2	Walls and Ceiling	<ul style="list-style-type: none"> There is a moisture stain on the ceiling, which you should ask the sellers to explain or have explored further.
Page 28 Item: 8	Dishwasher	<ul style="list-style-type: none"> The dishwasher does not progress through its cycles, and should be evaluated by a qualified technician.
Page 28 Item: 10	Gas Cook Top	<ul style="list-style-type: none"> One or more of the gas cook top burners did not respond and should be serviced by a qualified technician.
Page 29 Item: 12	Kitchen Outlets	<ul style="list-style-type: none"> The outlet under the sink should be covered.
Stairs		
Page 31 Item: 3	Handrails	<ul style="list-style-type: none"> The balusters in the stair rails are more than four inches apart and are not child safe. Therefore, you may wish to add a protective barrier.

Master Bedroom		
Page 32 Item: 1	Doors	<ul style="list-style-type: none"> • There is a broken hermetic seal or seals in the door window panel or panels, which has allowed condensation to form between the window panes which should be replaced.
Page 33 Item: 4	Dual Pane Windows	<ul style="list-style-type: none"> • A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.
Page 33 Item: 8	Smoke Detector	<ul style="list-style-type: none"> • There is no smoke detector which is mandatory and should be installed.
1st Guest Bedroom		
Page 34 Item: 4	Single Pane Windows	<ul style="list-style-type: none"> • The window does not appear to be the correct size or location to permit escape in case of a fire. Therefore, you may wish to have a licensed contractor evaluate. • A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.
Page 34 Item: 6	Outlets	<ul style="list-style-type: none"> • The obsolete ungrounded outlets should be upgraded to include ground. Recommend a licensed electrician evaluate.
Page 35 Item: 7	Smoke Detector	<ul style="list-style-type: none"> • There is no smoke detector which is mandatory and should be installed.
2nd Guest Bedroom		
Page 35 Item: 5	Outlets	<ul style="list-style-type: none"> • The obsolete ungrounded outlets should be upgraded to include ground. Recommend a licensed electrician evaluate.
Page 35 Item: 6	Smoke Detector	<ul style="list-style-type: none"> • There is no smoke detector which is mandatory and should be installed.
Master Bathroom		
Page 36 Item: 4	Dual Pane Windows	<ul style="list-style-type: none"> • A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.
Page 36 Item: 6	Sinks and Related Components	<ul style="list-style-type: none"> • There is a leak at the drain trap below the sink, which should be repaired.
Page 37 Item: 8	Hydro Spa	<ul style="list-style-type: none"> • There is no apparent access to service the hydro-spa motor, which is essential and should be provided. Also, the hydro-spa motor should be bonded and confirmed to have ground fault protection.
Page 37 Item: 9	Toilet	<ul style="list-style-type: none"> • The toilet is functional but not identified as being a 1.28 gpf low flush type.
Guest Bathroom #1		
Page 38 Item: 8	Stall Shower	<ul style="list-style-type: none"> • The tub / shower enclosure hardware will need to be serviced to work effectively.
Page 38 Item: 9	Toilet	<ul style="list-style-type: none"> • The toilet is functional but not identified as being a 1.28 gpf low flush type.
Laundry		
Page 38 Item: 2	Dryer Vent	<ul style="list-style-type: none"> • The dryer vent is separated within the sub area and should be repaired.
Garage		
Page 39 Item: 2	Walls and Ceiling	<ul style="list-style-type: none"> • There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we not unable to confirm that is being caused by an active leak.

Page 40 Item: 6	Garage Doors and Openers	<ul style="list-style-type: none">• The garage door or doors are a heavy, wooden, type that can be potentially dangerous because of the weight of the door. Therefore, the springs should be periodically tested to make sure that they are able to bear the full weight of the door at almost any angle, and particularly if children or the elderly occupy the residence.• The garage door opener is functional, but it does not auto reverse or may need to be adjusted.
Foundation		
Page 41 Item: 5	Intermediate Floor Framing	<ul style="list-style-type: none">• There is earth to wood contact noted at several locations in the crawlspace. Earth to wood can allow moisture and insect intrusion to attack the framing members. Recommend further evaluation by a licensed termite inspector prior to the close of escrow
Page 42 Item: 6	Electrical	<ul style="list-style-type: none">• There is an open electrical junction box within the crawlspace, which should be sealed so that any arcing or sparking would be contained within the box.
Page 42 Item: 7	Ventilation	<ul style="list-style-type: none">• Ventilation in the crawlspace is limited and could be improved therefore, we recommend a licensed contractor evaluate.

Exterior Components

1. Property Observations

- There are areas of this property that do not have guardrails. Therefore, children should be monitored if the visit or occupy the residence. Common safety standards require them to be a minimum of four inches high when the standing surface is thirty inches or more above grade. Also, guardrail pickets should be no more than four inches apart for child safety.



2. Landscaping

- Trees that are adjacent to the foundation should be monitored for any growth that might affect the foundation.



3. Drainage Mode

- Drainage is facilitated by soil percolation hard surfaces, area drains, and full or partial gutters. However, the area drains must be kept clean or moisture intrusion could result.
- Grading and drainage is either negative or neutral adjacent to the residence, and moisture intrusion will remain a possibility. The soil or the hard surfaces should slope away from the residence to keep moisture away from the footings. We can elaborate on this issue, but we recommend you seek a second opinion from a licensed landscape contractor who could make suggestions on possibly re directing the soils.

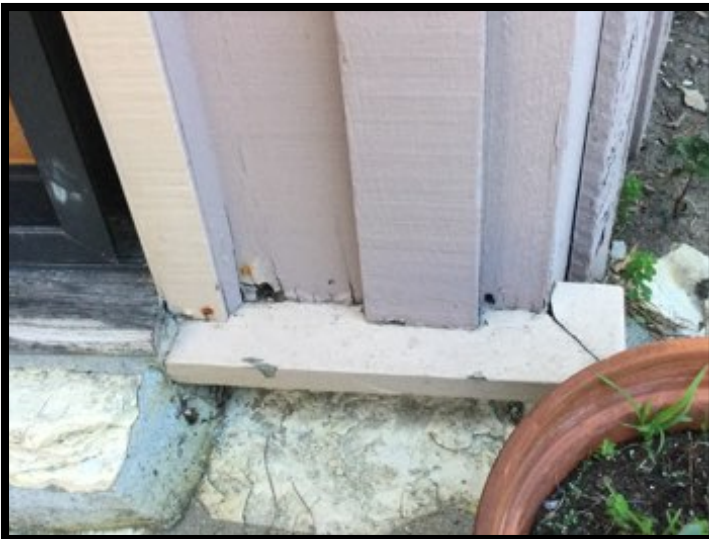


4. Identification of House Wall Finish

- The house walls are finished with wooden siding.

5. House Wall Finish Observations

- Portions of the wood siding are moisture or insect damaged, and should be evaluated by a termite inspector or licensed contractor prior to the end of the contingency period.
- Earth to wood contact noted at various locations. Earth to wood can act as a conduit for insect and moisture intrusion. Recommend removing the soil and sloping the areas away from the structure.
- There are holes or penetrations in the exterior siding that should be repaired or sealed to prevent insect or moisture intrusion.





6. Driveway Conditions

- The driveway is in acceptable condition.



7. Walkway Conditions

- There is an offset in a walkway that could prove to be a trip hazard and you may wish to have it evaluated.



8. Fences and Gates

- Sections of the fence are leaning or damaged and should be repaired or replaced.



9. Facia and Trim

- There is insect or moisture damage to portions of the wood trim that should be evaluated by a termite inspector or licensed contractor.

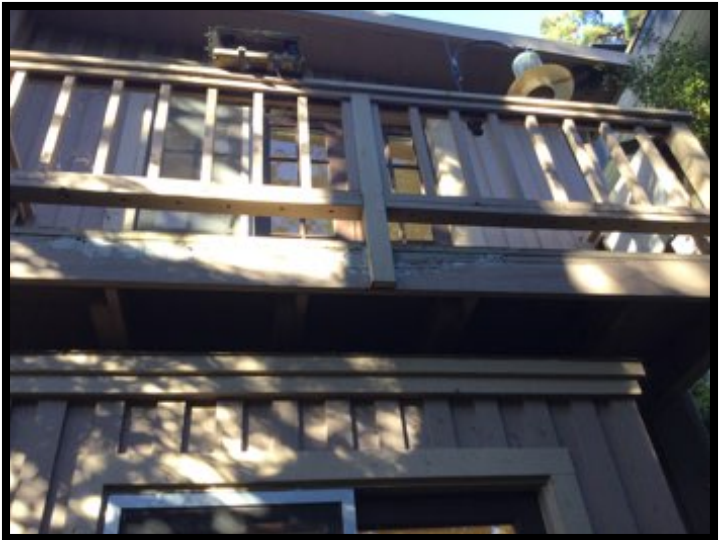


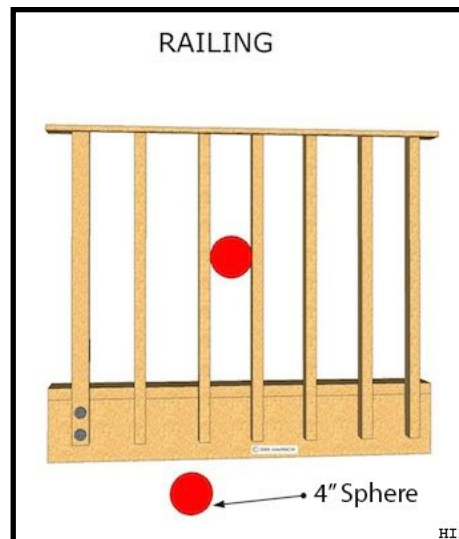
10. Sliding Glass Doors

- The sliding glass doors are tempered and in acceptable condition.

11. Wood and Masonry Decks

- There is damage to the wood deck that should be evaluated by the termite inspector or licensed contractor.
- The deck rail balustrades exceeds 4", which is today's standard. Recommend decreasing the space between the balustrades to 4" especially if young children or small pets occupy the residence.
- The rear stone deck is deteriorated and should be serviced.





12. Steps and Handrails

- The steps are in acceptable condition.



13. Outlets

- The outlets that were tested are functional and include ground fault protection. • An outlet is not energized. Recommend a licensed electrician evaluate the outlets.
- There is an open junction box in the side yard that should be sealed. Recommend a licensed electrician evaluate.



14. Lights

- The lights outside the doors of the residence are functional. However, we do not inspect or evaluate decorative lights.

Roof Material and Comments

1. Type of Material

Materials: Tar and Gravel

2. Method of Evaluation

- We evaluated the roof and its components by walking on its surface.

3. Roofing Material

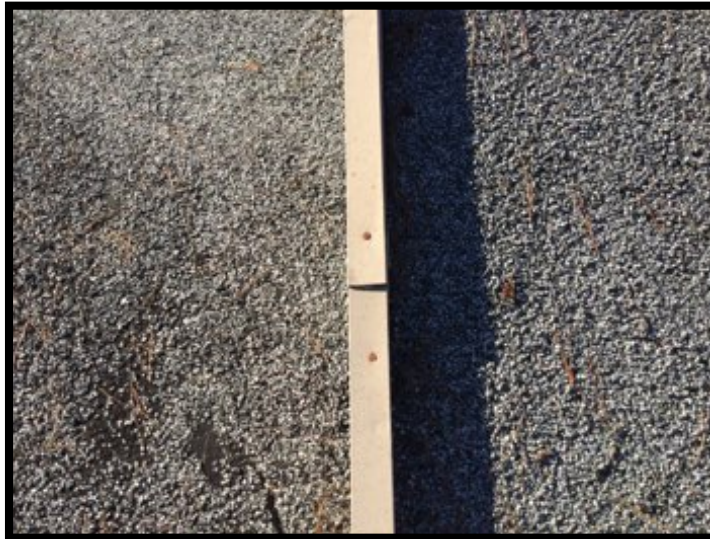
The tar and gravel roof has multiple bare spots that should be serviced to prevent the membrane from deteriorating. Recommend a licensed roofing contractor evaluate.





4. Flashing's

- The roof flashing's need to be sealed or serviced. They are comprised of metal that seals **valley's** and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashing's on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks.
- The exposed nails on the flashing's should be sealed to prevent moisture intrusion. Recommend further evaluation by a licensed roofing contractor.



5. Skylights

- The roof includes one or more skylights, which can be problematic and a common point of leaks. There are different methods of installing them and, although opinions will vary, some methods are better than others. Therefore, it will be important to keep the area around them clean and to monitor them for evidence of leaks.



6. Gutters and Drainage

- The roof has a gutter less drainage system that employs down spouts in the eaves, but no gutters. Water runs down the roof to a raised dam along the leading edges where it is supposed to turn and run sideways until it reaches a point in the eaves, where it discharges into a downspout. However, level planes rarely exist on houses, and instead of performing as it is intended the water invariably ponds along the edges and deteriorates the roof and its eaves, which has already happened. The termite inspector will comment on this, but you should also consult a roofing contractor about modifying this ineffectual and problematic drainage system.
- It would be prudent to add leaders and/or splash blocks at the bottom of the down spouts to promote positive drainage and divert water away from the perimeter footings.



Living Room Chimney

1. Spark Arrestor

- There was a chimney inspection being performed at the time of inspection, and we defer to their report.



Plumbing

1. Water Main Location

- The main water shut-off valve is located in the garage side yard.



2. Water Pipes

- The visible portions of the potable water pipes are copper and in acceptable condition.



3. Gas Main Location

- The gas main is located in the side yard.
- There is no wrench at the gas shut off valve to facilitate an emergency shut off, and inasmuch as such tools are relatively inexpensive we recommend that you buy one and leave it in place on the valve.



4. Gas Supply Piping

- The visible portions of the gas supply piping are in acceptable condition.

5. Waste and Drainage Systems

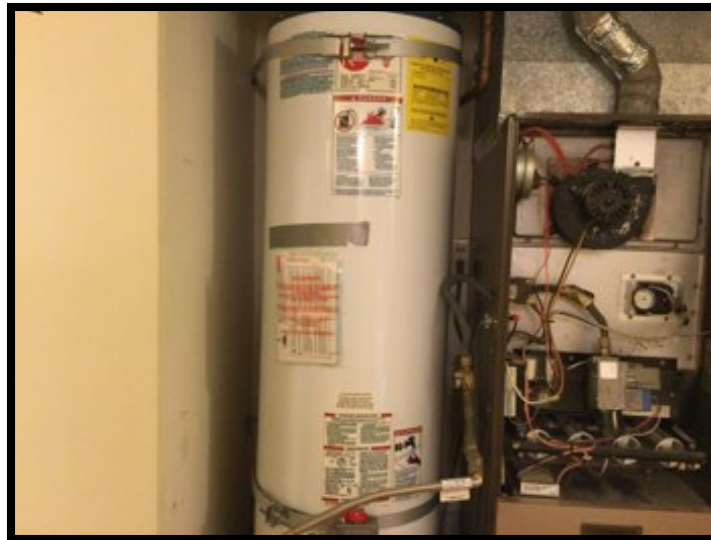
- The visible portions of the drainpipes consist of cast iron and **ABS** pipes that are in acceptable condition. However, we obviously cannot determine the condition of interior of the pipe, and we recommend you have a sewer scan performed prior to the end of your contingency period.



Water Heater

1. Age Capacity and Location

- Hot water is provided by a 23 year old, 40 gallon water heater located in a downstairs closet.
- The water heater is beyond it's commonly expected design life and should be closely monitored for any signs of leaks.



2. Combustion Chamber

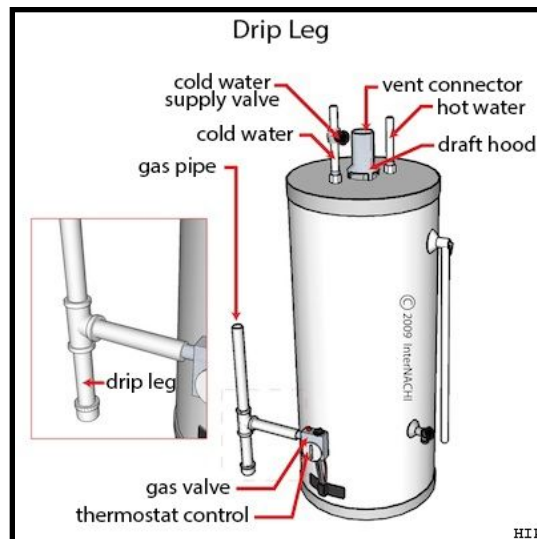
- The combustion chamber is in acceptable condition.

3. Valves and Connectors

- The shut-off valve and water connectors are functional.

4. Gas Valve

- The gas control valve and its connector at the water heater are functional.
- The gas valve does not include a sediment trap or drip leg, and we recommend one be installed by a licensed plumber to prevent debris clogging the gas orifice.



5. Relief Valve and Discharge Pipe

- The water heater is equipped with a mandated pressure temperature relief valve. However, we do not test these valves as part of our service.

6. Drain Valve

- The drain valve is in place and presumed to be functional.

7. Drip Pan and Overflow Pipe

- The water heater is not equipped with a drip pan or overflow pipe, which is recommended, and which is designed to prevent or minimize water damage from a leak.

8. Seismic Strapping

- The water heater is seismically secured.

Electrical

1. Service Entrance

- The service entrance, mast weather head, and cleat are in acceptable condition.

2. Size and Location

- The residence is served by a 100 amp, 240 volt panel, located in the house side yard.

3. Main Panel Observations

- The panel is an old panel manufactured by Zinsco. The breakers in this type of panel have a history of over heating but not tripping. Also, the panel has exposed feeder bars that can be hazardous to anyone removing the interior cover panel without prior knowledge of this fact. Recommend a licensed electrician evaluate.

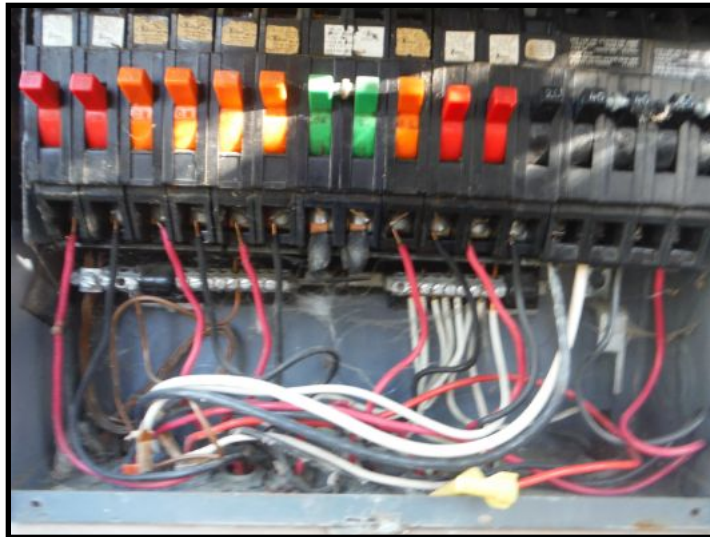
4. Wiring Observations

- The residence is wired with suspect knob and tube wiring, which should be evaluated by an electrician and certified as being safe or replaced.



5. Circuit Breakers

- There are no visible deficiencies with the circuit breakers.



6. Panel Ground

- The panel is grounded to a water pipe. Current standards require the panel to be double grounded, and you may wish to consider having this done as a safety upgrade.

Heat Source

1. Age and Location

- Central heat is provided by a 37 year old, forced-air furnace that is located in a downstairs closet.

2. Furnace

- The furnace is functional. However, it is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely, and should be evaluated by a licensed HVAC contractor, for evidence of metal fatigue.



3. Vent Pipe

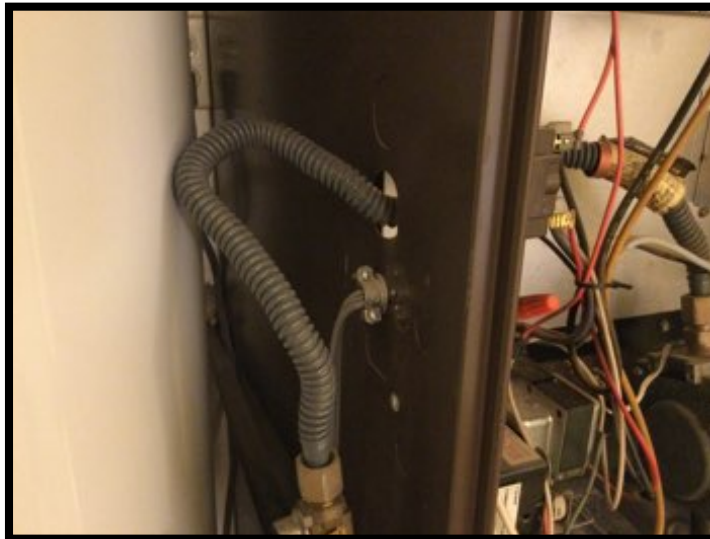
- The vent pipe or pipes are functional.

4. Circulating Fan

- The circulating fan is clean and functional.

5. Gas Valve and Connector

- You should be aware that the gas feed line that pass through the furnace sidewall is flexible, and are required by current codes to be rigid until it passes beyond the furnace, and then flexible to the point where it connects to the valve. This condition should be corrected by an HVAC contractor.



6. Combustion Air Vents

- The **combustion air** vents for the gas furnace are functional.

7. Return Air Compartment and Filter

- The return air compartment is in acceptable condition.
- You may wish to replace the return air grill with one that holds a filter, which saves you the inconvenience of having to access it at the furnace.

8. Thermostat

- The thermostat is functional.

9. Registers

- The registers are reasonably clean and functional.

10. Flexible Ducting

- The ducts have no visible deficiencies. They are a modern flexible type that are comprised of an outer plastic sleeve and an inner liner that contains fiberglass insulation.

11. Metal Ducting

- The ducts have no visible deficiencies. They are a rigid metal type that are insulated with fiberglass.

12. Baseboard Heat System

- The baseboard heater did not respond to the thermostat, and should be serviced.

**Main Entry****1. Doors**

- The door or doors are functional.



2. Floors

- The floor has no significant defects.

3. Walls and Ceilings

- The walls and ceiling are in acceptable condition.

4. Single Pane Windows

- The single pane windows do not contain safety glass which is required by today's standards and we recommend the window or windows are upgraded.

5. Lights

- The lights are functional.

6. Outlets

- The obsolete ungrounded outlets should be upgraded to include ground. Recommend a licensed electrician evaluate.

Living Room

1. Floors

- The floor is in acceptable condition.



2. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

3. Single Pane Windows

- The window is functional.

4. Lights

- The lights are functional.

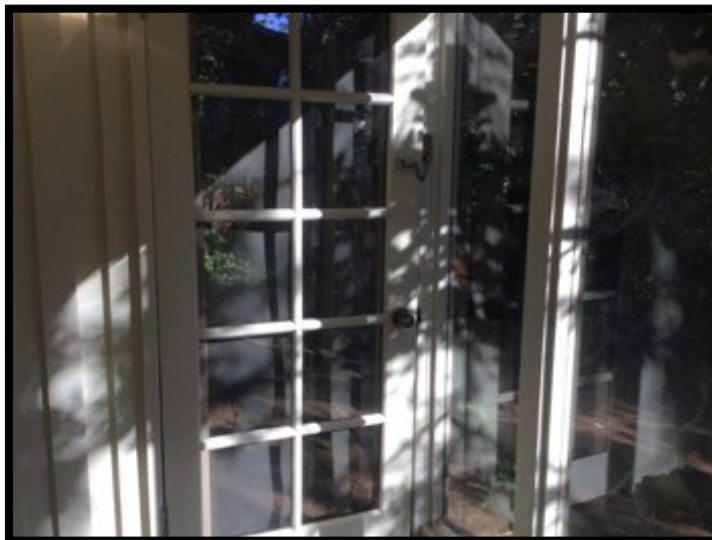
5. Outlets

- The un obstructed outlets that were tested are functional.

Sun Room

1. Doors

- The door rubs, and needs to be serviced to work smoothly.



2. Floors

- The floor is out of level and the room is pulling away from the main structure. Recommend further evaluation by a licensed contractor.



3. Walls and Ceiling

- There is evidence of moisture intrusion that should be evaluated by a licensed contractor or termite inspector.



Wine Cellar

1. Doors

- The door or doors are functional.



2. Floors

- The floor is in acceptable condition.

3. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

4. Single Pane Windows

- A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.



5. Lights

- Several of the ceiling lights did not respond and should be serviced.

6. Outlets

- The un obstructed outlets that were tested are functional.

Dining Room

1. General Observations

- We evaluated the dining room and found it to be in satisfactory condition and there is no recommended service at this time.



Kitchen

1. Floors

- The floor is in acceptable condition.



2. Walls and Ceiling

- There is a moisture stain on the ceiling, which you should ask the sellers to explain or have explored further.



3. Single Pane Windows

- The window is functional.

4. Cabinets

- The kitchen cabinets have typical cosmetic damage.

5. Sinks and countertops

- The sink and counters top are functional.

6. Trap and Drain

- The trap and drain are functional.

7. Garbage Disposal

- The disposal is functional.

8. Dishwasher

- The dishwasher does not progress through its cycles, and should be evaluated by a qualified technician.

9. Gas Range

- The gas range is functional, but was neither calibrated nor tested for its performance.

10. Gas Cook Top

- One or more of the gas cook top burners did not respond and should be serviced by a qualified technician.



11. Kitchen Lights

- The lights are functional.

12. Kitchen Outlets

- The outlets that were tested are functional and include ground-fault protection.
- [The outlet under the sink should be covered.](#)



Primary Hallway

1. Doors

- The door or doors are functional.



2. Floors

- The floor is in acceptable condition.

3. Walls and Ceilings

- The walls and ceiling are in acceptable condition.

4. Lights

- The lights are functional.

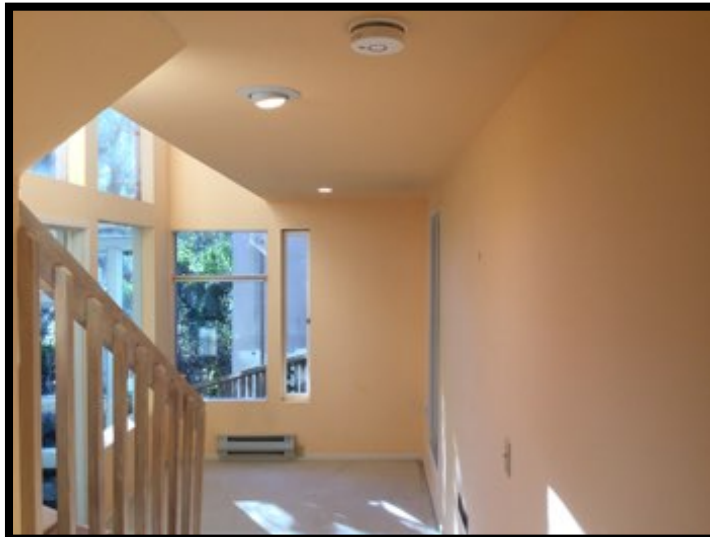
5. Smoke and Carbon Monoxide Detectors

- The smoke detector is functional however, we recommend periodic testing and changing batteries per manufacturers specifications.
- CO detector or detectors were functional at the time of inspection.

Secondary Hallway

1. General Observations

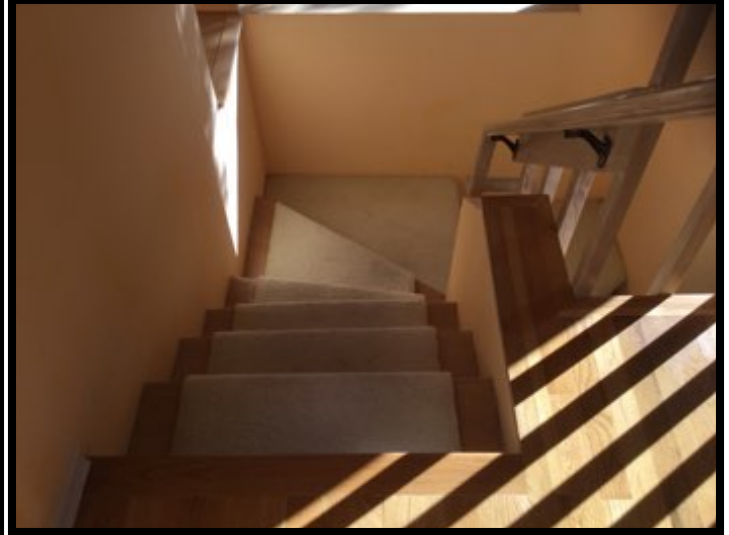
- We evaluated the hallway and found it to be in satisfactory condition and there is no recommended service at this time.



Stairs

1. Stairs and Handrails

- We have evaluated the stairs and landing, and found them to be in acceptable condition.



2. Walls and Ceiling

- The walls and ceiling have no significant defects.

3. Handrails

- The balusters in the stair rails are more than four inches apart and are not child safe. Therefore, you may wish to add a protective barrier.



4. Single Pane Windows

- The window is functional.

5. Closets

- The closet, or closets, in the area of the stairs and landing is in acceptable condition.
- The stairwell closet wall is damaged and should be evaluated.

6. Lights

- The lights are functional.

Master Bedroom

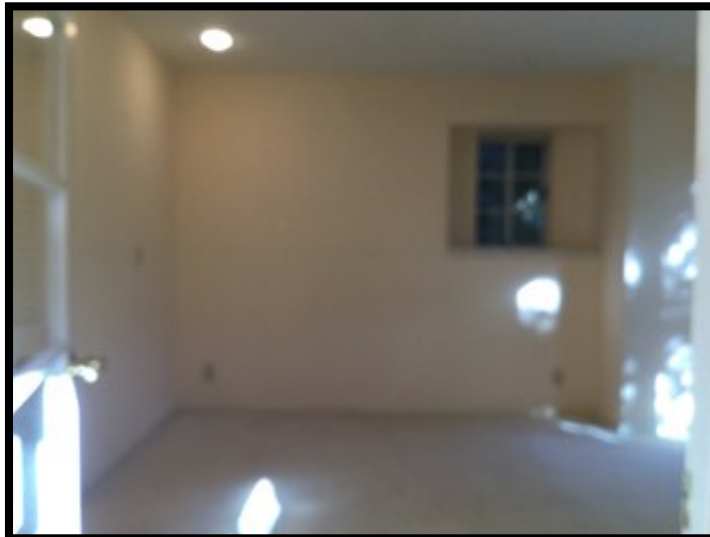
1. Doors

- There is a broken hermetic seal or seals in the door window panel or panels, which has allowed condensation to form between the window panes which should be replaced.



2. Floors

- The floor has no significant defects.



3. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

4. Dual Pane Windows

- A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.



5. Closets and Cabinets

- The closet or closets are in acceptable condition.



6. Lights

- The lights are functional.

7. Outlets

- The outlets that were tested are functional.

8. Smoke Detector

- There is no smoke detector which is mandatory and should be installed.

1st Guest Bedroom

1. Doors

- The door or doors are functional.



2. Floors

- The floor has no significant defects.

3. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

4. Single Pane Windows

- The window does not appear to be the correct size or location to permit escape in case of a fire. Therefore, you may wish to have a licensed contractor evaluate.
- A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.



5. Closets and Cabinets

- The closet or closets are in acceptable condition.

6. Outlets

- The obsolete ungrounded outlets should be upgraded to include ground. Recommend a licensed electrician evaluate.

7. Smoke Detector

- There is no smoke detector which is mandatory and should be installed.

2nd Guest Bedroom

1. Doors

- The door or doors are functional.



2. Floors

- The floor has no significant defects.

3. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

4. Closets and Cabinets

- The closet or closets are in acceptable condition.

5. Outlets

- The obsolete ungrounded outlets should be upgraded to include ground. Recommend a licensed electrician evaluate.

6. Smoke Detector

- There is no smoke detector which is mandatory and should be installed.

Master Bathroom

1. Doors

- The door or doors are functional.



2. Floors

- The floor is in acceptable condition.

3. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

4. Dual Pane Windows

- A window or windows are stuck, painted shut, or will need service to work well, such as sanding, shaving, trimming, or servicing the hardware.

5. Cabinets

- The cabinets have typical, cosmetic damage.

6. Sinks and Related Components

- There is a leak at the drain trap below the sink, which should be repaired.



7. Tub / Shower

- The tub/shower is functional.

8. Hydro Spa

- There is no apparent access to service the hydro-spa motor, which is essential and should be provided. Also, the hydro-spa motor should be bonded and confirmed to have ground fault protection.

9. Toilet

- The toilet is functional but not identified as being a 1.28 gpf low flush type.

10. Exhaust Fan

- The exhaust fan is functional.

11. Lights

- The lights are functional.

12. Outlets

- The outlets are functional and include ground-fault protection.

Guest Bathroom #1

1. Doors

- The door or doors are functional.



2. Floors

- The floor is in acceptable condition.

3. Walls and Ceiling

- The walls and ceiling are in acceptable condition.

4. Dual Pane Windows

- The window is functional.

5. Cabinets

- The cabinets have typical, cosmetic damage.

6. Sinks and Related Components

- The sinks and their components are functional.

7. Tub / Shower

- The tub/shower is functional.

8. Stall Shower

- The tub / shower enclosure hardware will need to be serviced to work effectively.

9. Toilet

- The toilet is functional but not identified as being a 1.28 gpf low flush type.

10. Exhaust Fan

- The exhaust fan is functional.

11. Lights

- The lights are functional.

12. Outlets

- The outlets are functional and include ground-fault protection.

Laundry

1. General Comments

- We have evaluated the laundry area and found it to be in acceptable condition.



2. Dryer Vent

- The dryer vent is separated within the sub area and should be repaired.



Garage

1. Slab Floor

- The slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.



2. Walls and Ceiling

- There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we not unable to confirm that is being caused by an active leak.



3. Window Comments

- The windows are functional.

4. Firewall Separation

- The firewall separating the garage from the residence is functional.

5. House Entry Door

- The house entry door is solid core, or fire rated, and self closes in conformance with fire safety regulations.

6. Garage Doors and Openers

- The garage door or doors are a heavy, wooden, type that can be potentially dangerous because of the weight of the door. Therefore, the springs should be periodically tested to make sure that they are able to bear the full weight of the door at almost any angle, and particularly if children or the elderly occupy the residence.
- The garage door opener is functional, but it does not auto reverse or may need to be adjusted.



7. Lights and Outlets

- The lights are functional, and do not need service at this time.
- The outlets that were tested are functional, and include ground fault protection.

Foundation

1. Description of Foundation Type

- The foundation is raised and bolted to the standards of the year in which it was constructed.

2. Method of Evaluation

- We evaluated the foundation by direct access.

3. Crawlspace Observations

- The crawlspace is accessible and in acceptable condition.

4. Stem Walls

- The visible portions of the stem walls are in acceptable condition.



5. Intermediate Floor Framing

- There is earth to wood contact noted at several locations in the crawlspace. Earth to wood can allow moisture and insect intrusion to attack the framing members. Recommend further evaluation by a licensed termite inspector prior to the close of escrow



6. Electrical

- There is an open electrical junction box within the crawlspace, which should be sealed so that any arcing or sparking would be contained within the box.



7. Ventilation

- Ventilation in the crawlspace is limited and could be improved therefore, we recommend a licensed contractor evaluate.

8. Slab Sections

- The residence has slab sections with no visible structural abnormalities. Slab foundations are the most modern, but they can vary considerably from older ones that have no moisture barrier beneath them and no reinforcing steel within them to newer ones that have moisture barriers beneath them and adjustable reinforcing steel within them. Many slabs are found to contain cracks when the carpet and padding is removed, which could permit moisture to enter if they are not sealed, but which are hardly ever structurally threatening.

Glossary

Term	Definition
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
Valley	The internal angle formed by the junction of two sloping sides of a roof.